



NORTH SQUARE AT THE MILL DISTRICT

January 24, 2017

ZONING BOARD
OF APPEALS

together creating community

OUR TEAM



- **Beacon Communities:** Pam Goodman, Dara Kovel, Darcy Jameson, April Ognibene
- **PCA Architects:** Dave Chilinski, Jim Lee
- **BSC Group:** Monique Hall
- **HW Moore:** Bob Carter
- **Vanasse & Associates:** Giles Ham
- **Nixon Peabody:** Ruth Silman
- **WD Cowls:** Mollye Lockwood, Tom Reidy

PRESENTATION GOALS

Tonight:

- follow up items – stormwater, water and sewer, trees along western lease/property line, parking spaces, accessibility
- traffic
- property management plan
- construction period
- waiver requests

January 26:

- waiver requests
- conditions

GENERAL SITE PLAN



Apartments:

1 B – 59

2 B – 58

3 B – 13

Incl. 26 affordable apts

22,000 NSF Retail

Parking:

Retail – 93 spaces,
including 4 accessible
spaces

Residential – 211 spaces,
including 7 accessible
spaces

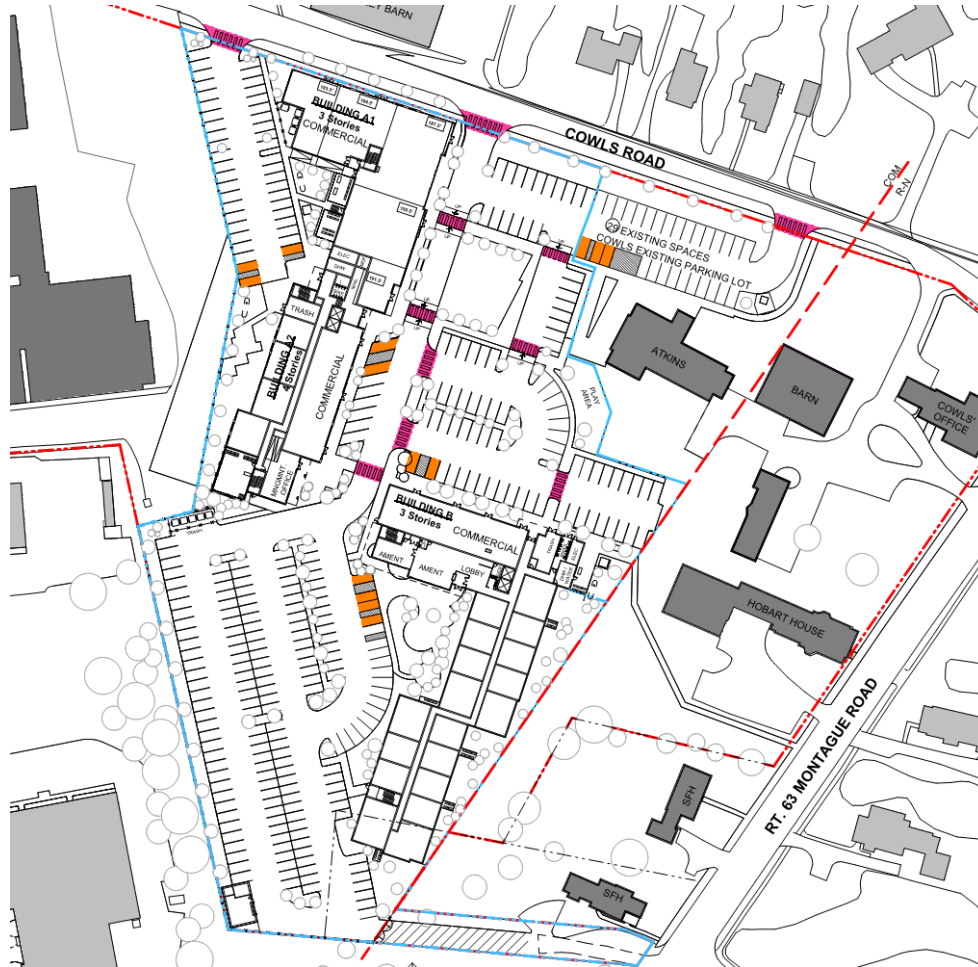
COMMERCIAL / RETAIL USES

targeted commercial tenants include:

- small restaurant/deli/cafe (1-2 areas)
 - Fitness + health services
 - art galleries
 - clothing retail
-
- commercial space will bring new business opportunities, more diverse tax base, jobs, active + programmed community gathering space



ACCESSIBILITY



- site and buildings will be accessible, compliant with ADA, UFAS, MassAccess and Building Code
- balancing compliance and livability
- apartments: 7 accessible units; prorated across unit type and 7 accessible parking spaces. Visitability and adaptability
- commercial: accessible and 4 commercial spaces
- accessible parking: 5 foot wide access and 8 feet for vans
- play area and dog park accessible
- cross walkways: raised and/or 12 feet wide, asphalt or concrete (minimal scoring), adequate lighting site wide, mindful not impeding travel lane, etc.

HISTORIC

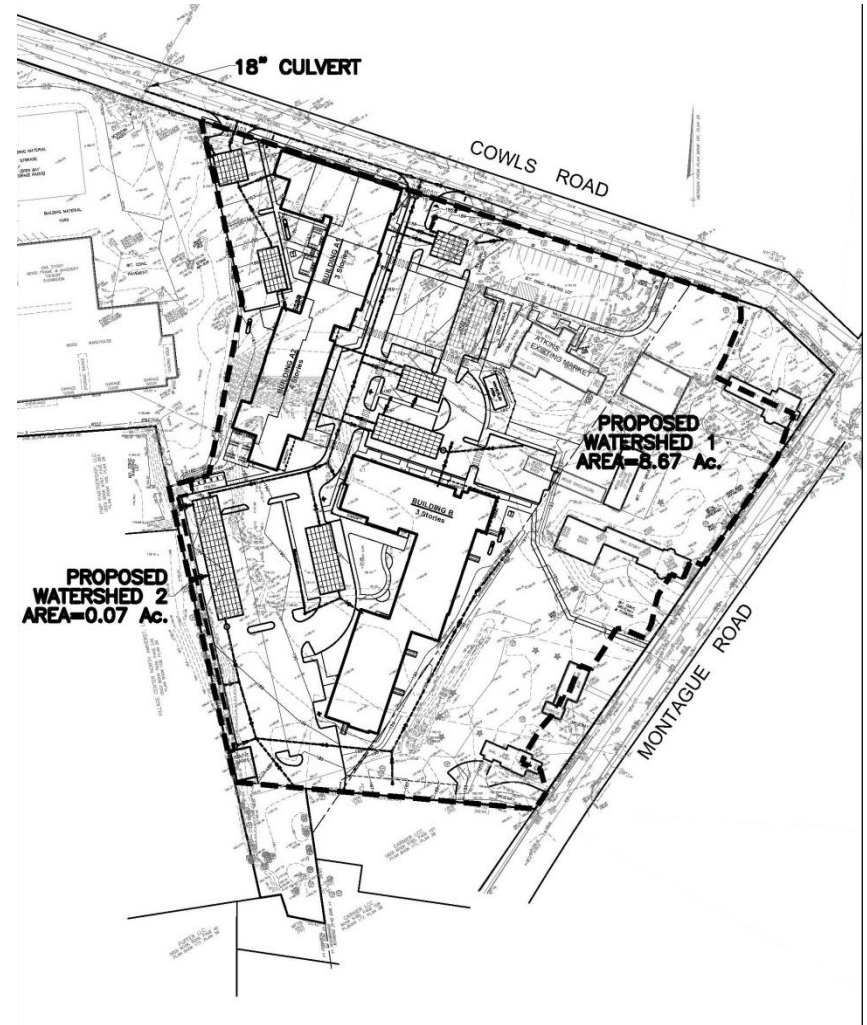
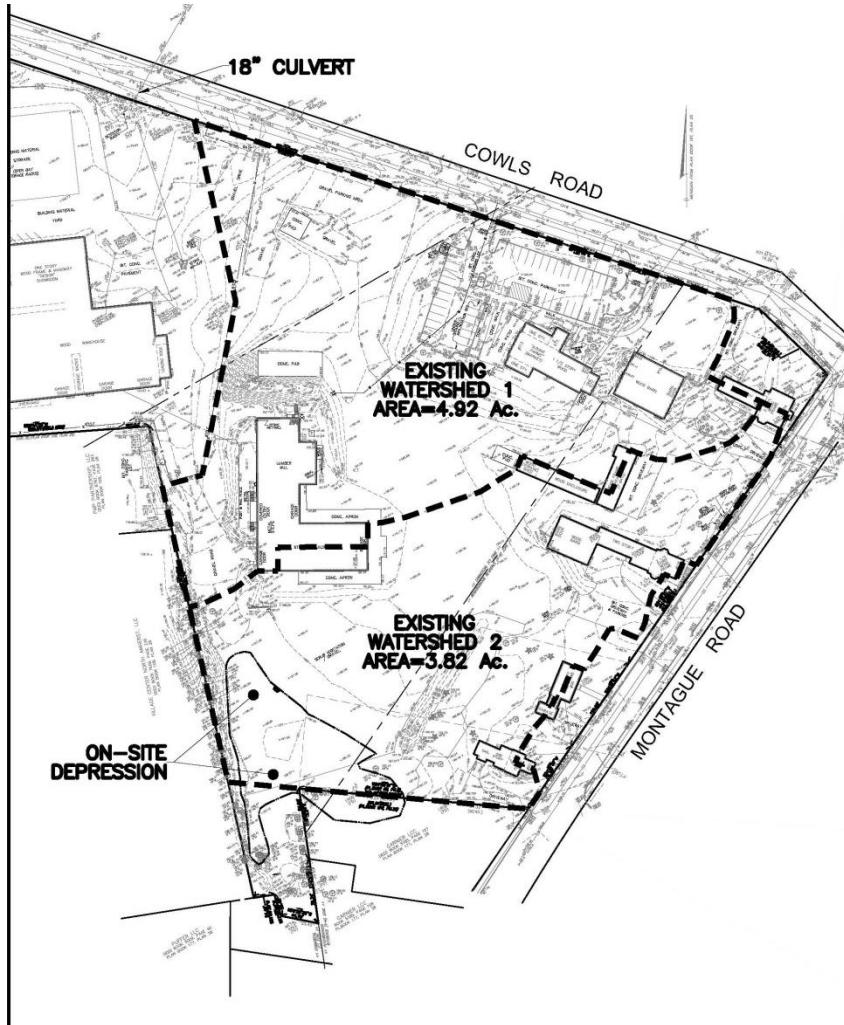
- Amherst Historical Commission approved demolition of stable/shed – January 2017
- MHC clearance – October 2016
- MEPA

preliminary calculations

STORMWATER MANAGEMENT

- stormwater system in **full compliance** with DEP 10 stormwater management standards. Will submit **SW Mng't Plan** and **DEP Certification of Compliance** to Town.
- scope of work and executive summary submitted to town staff
- no questions or concerns raised

STORMWATER MANAGEMENT



peak rate + volume of runoff

STORMWATER IMPROVEMENTS

Peak Rate Runoff (cfs)

Storm Event	Existing	Proposed	% Change
100-year	22.18	20.26	-8.7%
10-year	12.71	3.72	-70.7%
2-year	7.10	0.97	-86.3%

Volume of Runoff (ac-ft)

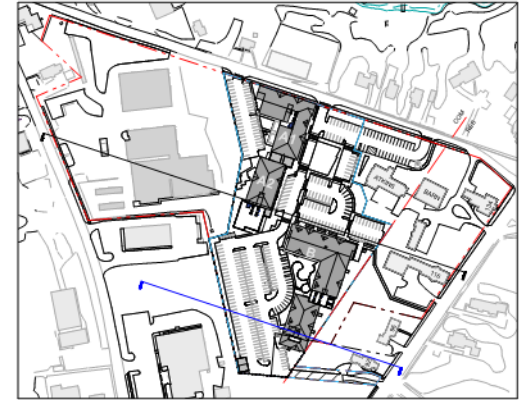
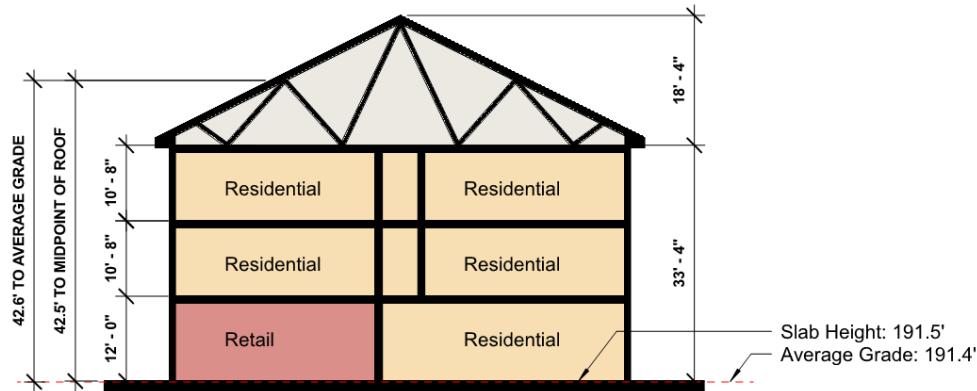
Storm Event	Existing	Proposed	% Change
100-year	1.87	1.13	-39.6%
10-year	0.98	0.29	-70.4%
2-year	0.54	0.06	-88.9%

- stormwater mitigation achieved through seven stormwater detention infiltration systems
- watershed 2 has NO runoff in either the existing or proposed scenarios
- overall volume and peak rate decreases

WATER AND SEWER CAPACITY

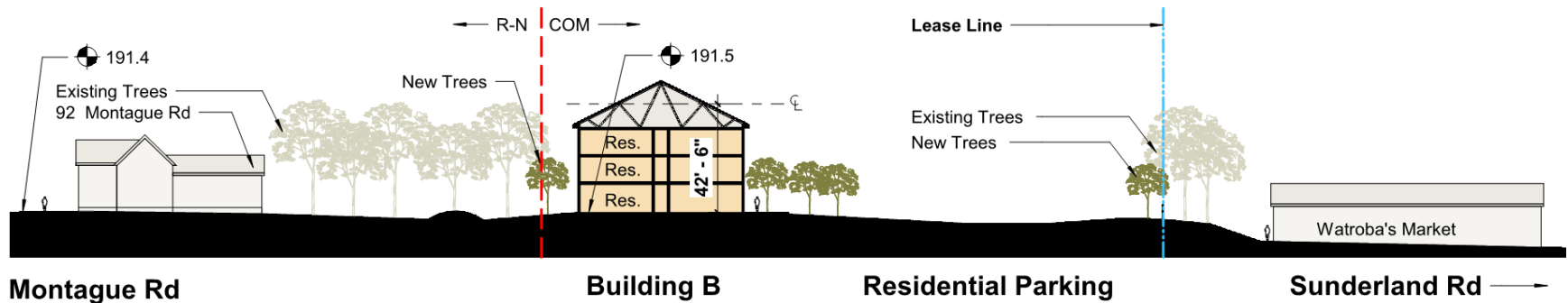
- town engineer and HW Moore have discussed – the Town has not raised any concerns about water and sewer system capacity (and there have been recent upgrades) or water supply

BUILDING HEIGHT

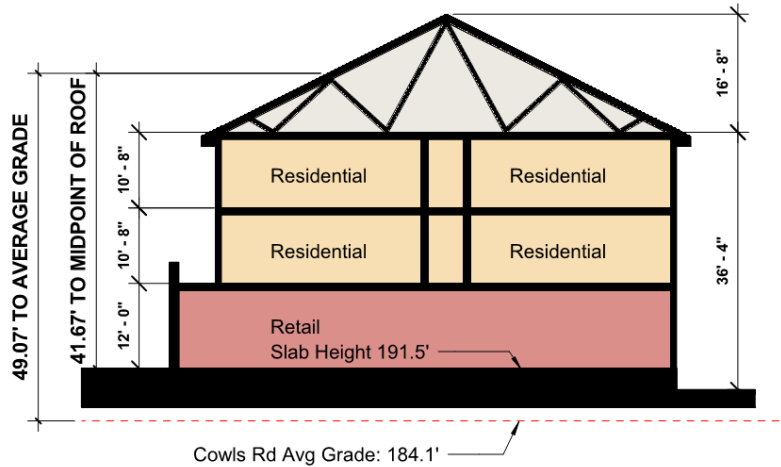


Building B Average Grade : 191.4'
Building B Slab Height: 191.5'

$$\text{Building B} = .1' + 42.5' = 42.6'$$



BUILDING A - SECTION



A1

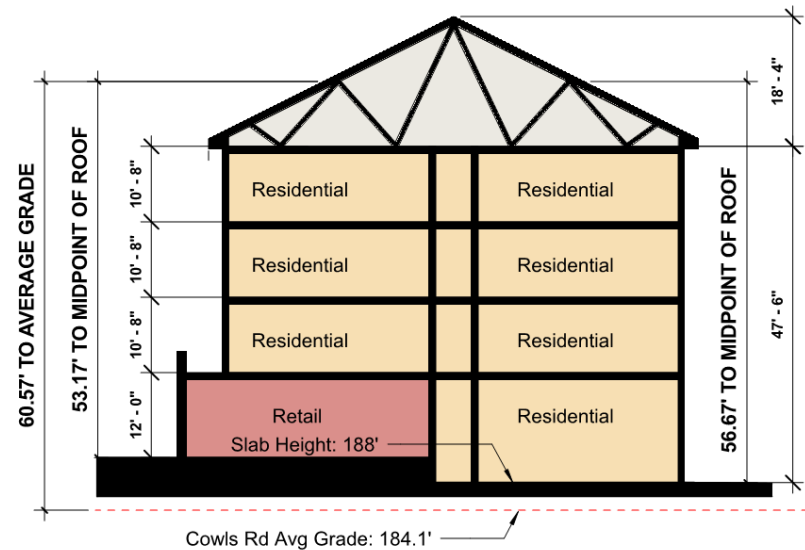
Building A Avg Grade @ Cowls 184.1'

Building A1 Slab Height: 191.5'

Building A2 Slab Height: 188'

Building A1 = 7.4' + 41.67' = 49.07'

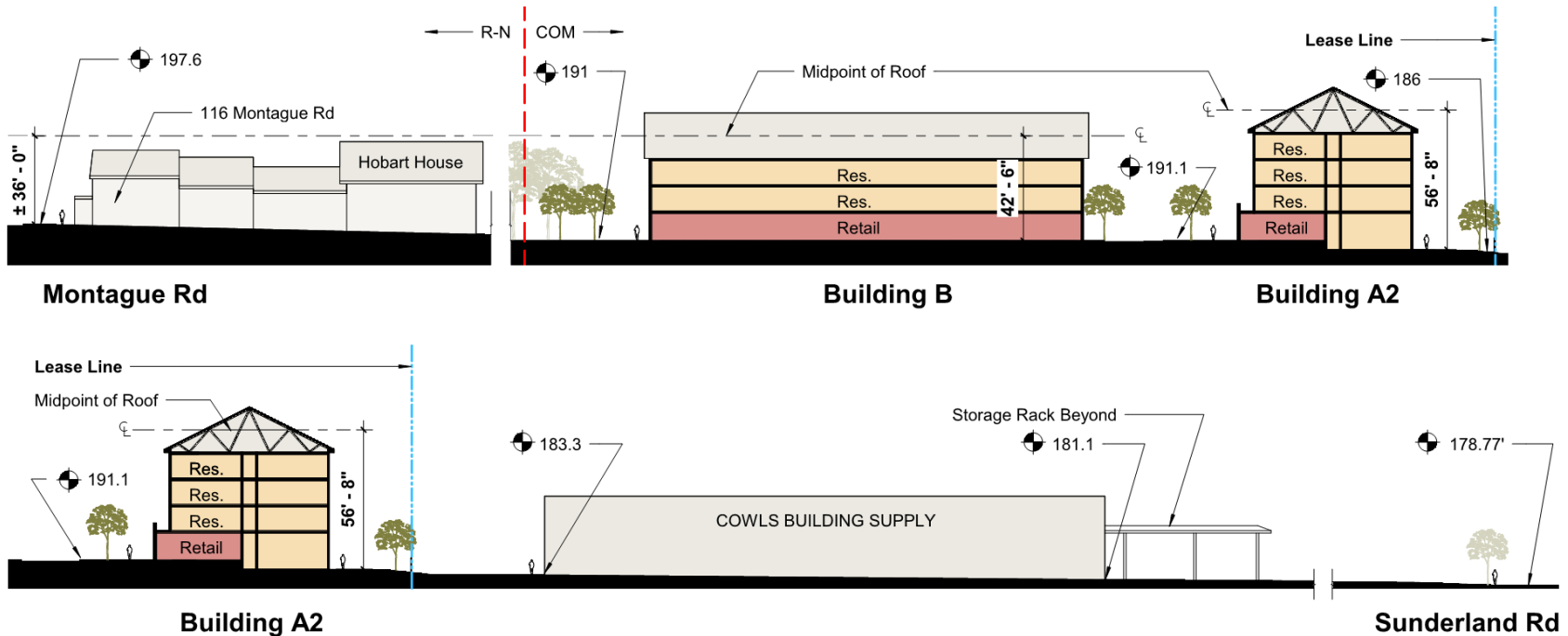
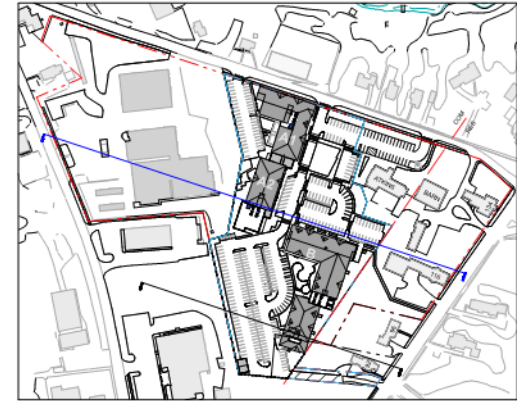
Building A2 = 3.9' + 56.67' = 60.57'



A2

Typical Section Through Building A

BUILDING HEIGHT



MONTAGUE ROAD BUFFER



LANDSCAPE PLAN



Photo credit: WDC



Compliance with Town of Amherst Landscape Guidelines

- Over **200 new trees** on a site that is vacant and underutilized
- Native tree and shrub plant selections reflect regional character
- 23 different trees species - variety for aesthetic interest and habitat value
- Exceed minimum tree planting size at retail areas and Village Green

200+ PROPOSED NEW TREES



EXISTING PERIMETER TREES



Photo credit: WDC

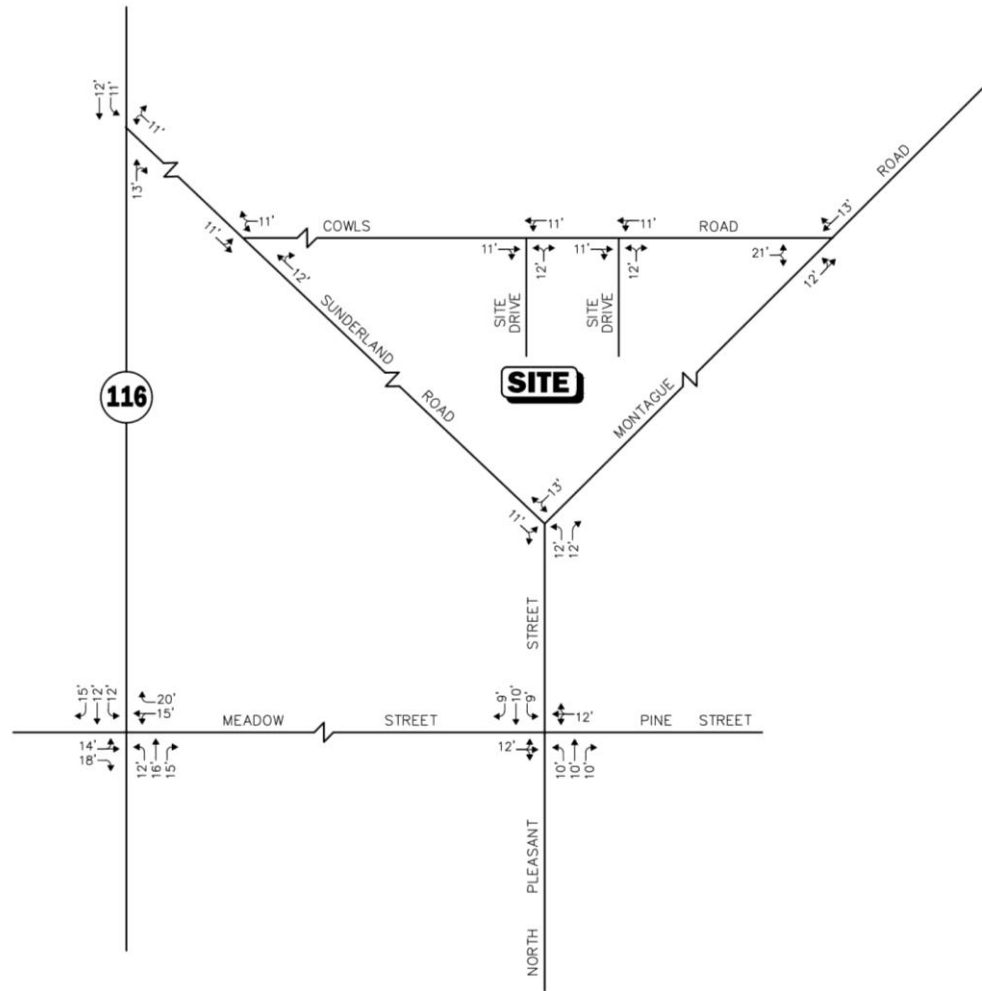
18 mature trees along western edge inside lease/property line
7 will be removed



TRANSPORTATION IMPACT ASSESSMENT

- what is a TIS?
- scope: defined in coordination with Town
- existing conditions
- safety review
- traffic generation
- future conditions
- conclusions

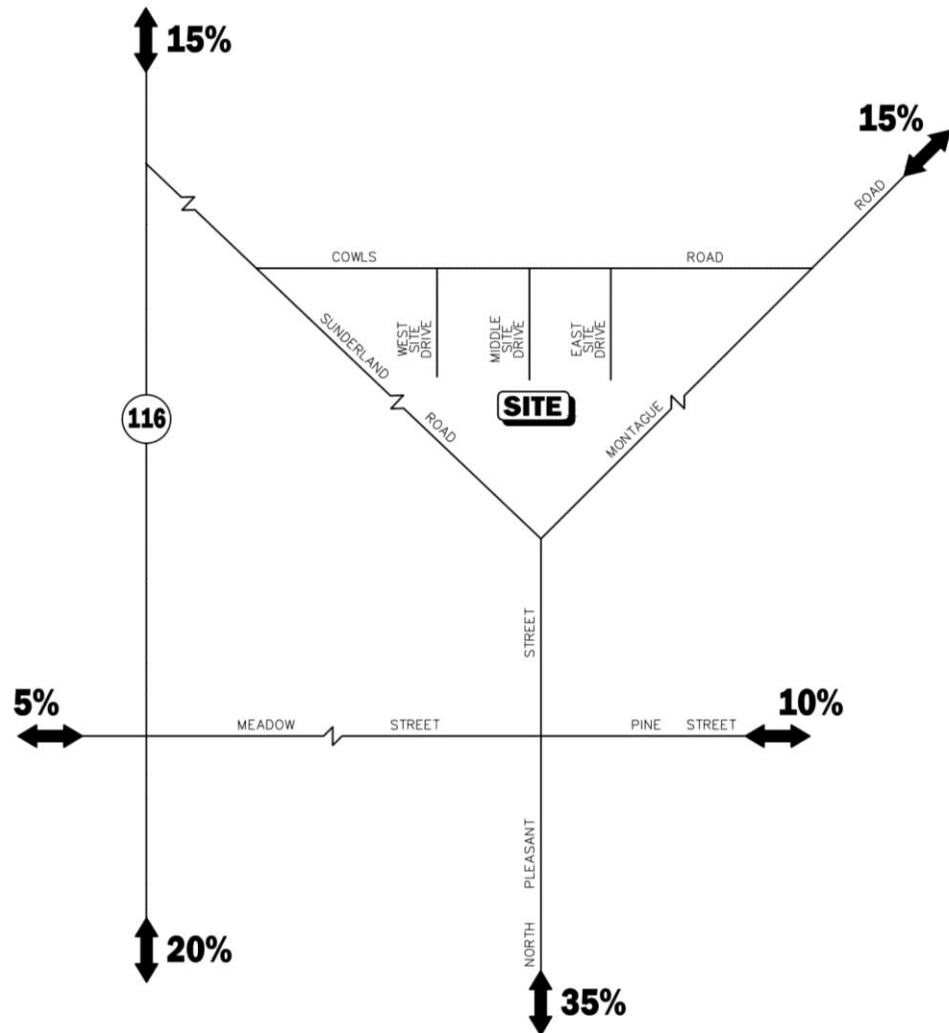
EXISTING INTERSECTION: LANE USE AND TRAVEL LANE WIDTH



TRIP-GENERATION SUMMARY

Time Period/Direction	Residential 130 units ^a	Restaurant 6,000 sf ^b	Retail 16,000 sfc ^c	Total
Weekday Daily	912	762	710	2,384
Weekday Morning Peak Hour:				
Entering	13	36	10	59
Exiting	54	29	6	89
Total	67	65	16	148
Weekday Evening Peak Hour:				
Entering	58	35	26	119
Exiting	31	24	34	89
Total	89	59	60	208
Saturday Daily	832	950	672	2,454
Saturday Midday Peak Hour:				
Entering	36	21	34	91
Exiting	32	20	31	83
Total	68	41	65	174

TRIP DISTRIBUTION MAP



SITE DRIVEWAYS

COWLS ROAD LOOKING EAST



BUS STOP



MAIN LEGEND	
R1-1	
W11-2	
W16-7P	
W16-9a	



COWLS ROAD LOOKING WEST



TRAFFIC: CONCLUSION

- **site access and egress**
 - three driveways under stop control
 - provide illumination
- **existing transit service**
 - provide crosswalk connection
- **no significant impact.**
- **no safety deficiencies**
- **safe and efficient access provided**

BRM PROPERTY MANAGEMENT

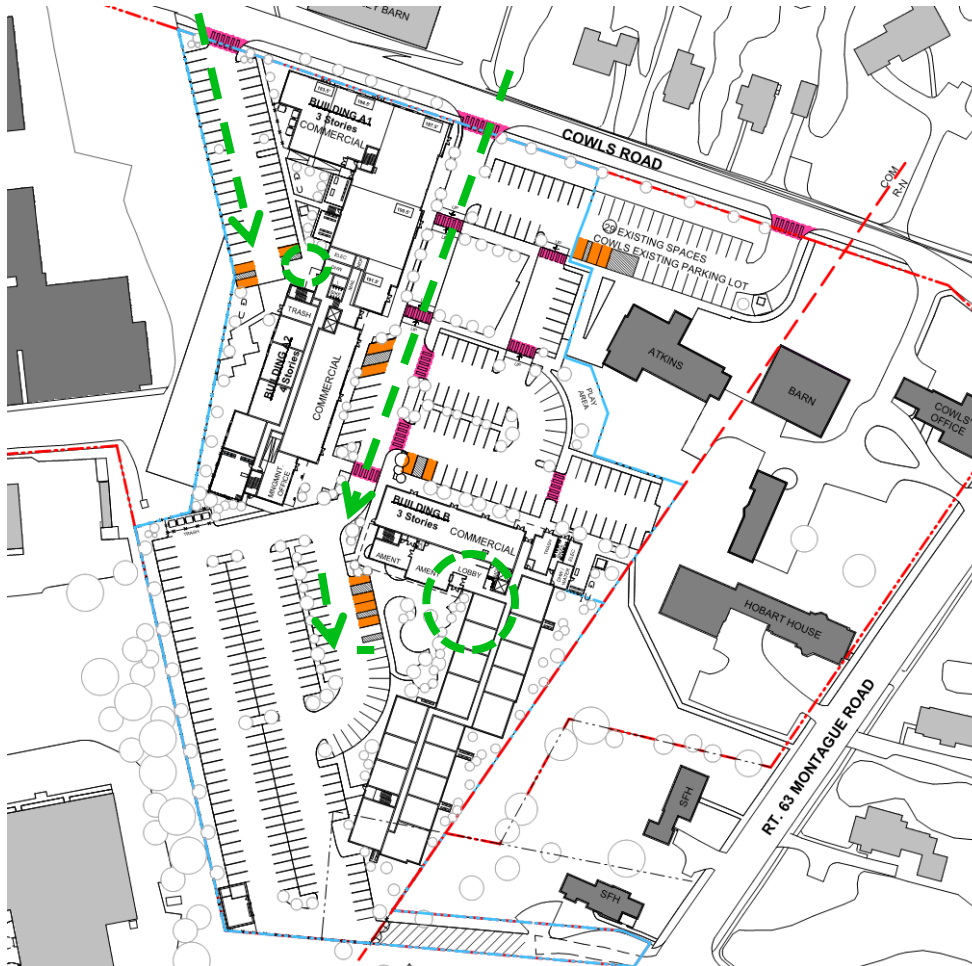
- deliveries and move ins - updates
- management plan
 - staff review
 - transfers to any future residential or commercial owner via the Comprehensive Permit
- positive track record at Rolling Green and across the state



Very few apartment numbers with calls. You are doing an excellent job at this complex.

– Amherst Police on Rolling Green, December 2016

DELIVERIES + MOVE INS



7am – 7pm

no idling

access via Sunderland Road to
Cowls

PARKING MANAGEMENT

residential areas – 211 spaces

- 18 spaces in commercial area available for resident parking 5pm – 8am
- Stickers required

commercial areas – 93 spaces

- retail/commercial customers
- resident parking in designated areas overnight



it's about good communication

CONSTRUCTION PERIOD

schedule – estimated 16-18 months

construction management plan:

- project website - construction schedule and “look ahead” about key construction activities.
- **construction fencing and security** – The construction site will be fenced. Use of cameras or manned security at the discretion of the GC
- **safety** - appropriate safety measures both on-site as well as along Cows Road to ensure vehicular and pedestrian safety (e.g. person to direct trucks on busy days, etc).

CONSTRUCTION PERIOD

- **access** – construction vehicles required to enter the site via Sunderland Road to Cows Road.
- **Cows Road** – open during construction expect for limited utility or other work that may be required.
- **construction hours** – Monday – Saturday 7am – 7pm
- **noise** – Efforts will be made to minimize weekend noise
- **dust** - dust control measures such as watering the site
- **emergency** - 24-hour emergency contact information

WRAPPING UP

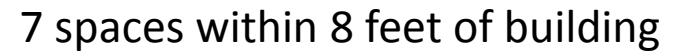
- 130 apartments and 22,000 SF of commercial is the right density for financial feasibility, quality management, and creating a new destination with vibrancy
- strengthens the Town's housing market through 26 deeply affordable apartments and a new kind of living experience for residents
- sustainable design / smart growth
- excellence in property management
- increases tax revenue by \$17.7 million over 30 years
- creates 8-10 new business and 20-25 permanent employment opportunities
- creates over 100 new jobs during the construction period and local spending.

WAIVER REQUESTS

Waiver memo updated as of January 24, 2017



PARKING AREA



7 spaces within 8 feet of building

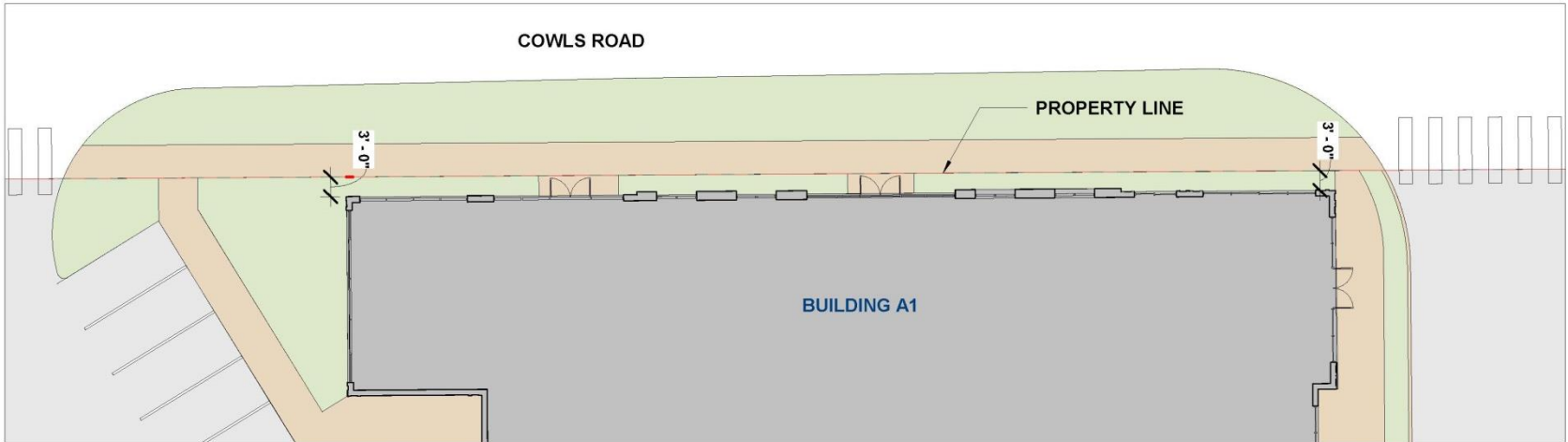
LANDSCAPE PLAN: SCREENING



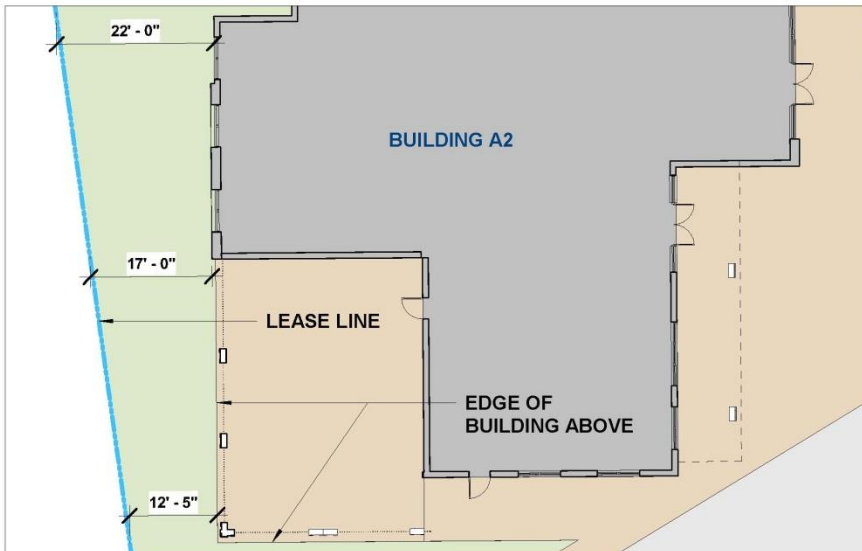
All parking areas will be appropriately screened and in compliance with 7.112, with the exception of two minor areas

- Cows Road will be screened with a 3' tall landscape buffer
- Cows Building Supply is screened with a solid metal fence
- Watroba's is screened with existing vegetation and a 3' change in grade

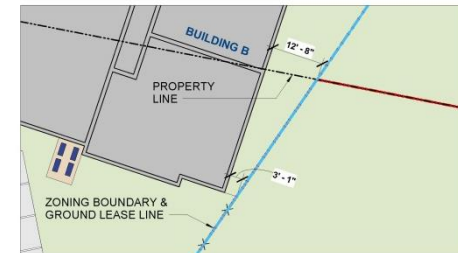
BUILDING SETBACKS



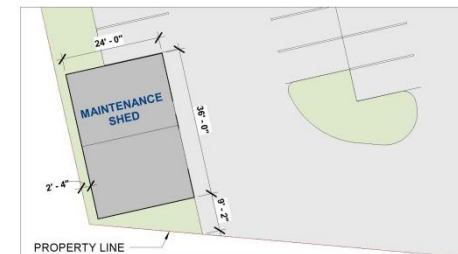
BUILDING A1 (LOCATION 1)
1/16" = 1'-0"



BUILDING A2 (LOCATION 2)



BUILDING B (LOCATION 3)
1/16" = 1'-0"



MAINTENANCE SHED (LOCATION 4)
1/16" = 1'-0"

waiver request

PEDESTRIAN PATH



*Preliminary concept -
Path lighting to be provided by
bollard-type light fixtures.*

thank you.

For the most recent information, questions or
comments about

North Square at the Mill District

please visit

www.courbanize.com/north-square

LIVING
WELL by
DESIGN



Overall Site View

parking and storage

CONSTRUCTION PERIOD





Village Green & Special Event Perspectives